

RUSH  
WITT &  
WILSON



**19 Redwell Avenue, Bexhill-On-Sea, East Sussex TN39 5DQ**  
**£270,000**

**A beautifully presented, modern mid-terraced two bedroom house with two parking spaces, gas central heating system with new boiler, double glazed windows and doors, modern kitchen and bathroom, private front and southerly facing rear garden, viewing comes highly recommended by RWW sole agents. Council Tax Band C.**



## **Entrance Hall**

With entrance door, single radiator.

## **Living Room**

15'7 x 11'9 (4.75m x 3.58m)

Double radiator, patio doors to the rear garden.

## **Kitchen**

8'5 x 7'9 (2.57m x 2.36m)

Window to the front elevation. Modern fitted kitchen comprising a range of base and wall units, handleless with high gloss finish, laminate wood effect worktops, single drainer sink unit with mixer tap, plumbing for washing machine, integrated oven and grill with gas hob, extractor canopy and light, space for fridge/freezer, tiled splashbacks.

## **First Floor Landing**

### **Bedroom One**

11'10 x 11'9 (3.61m x 3.58m)

Window to the rear elevation, single radiator, built-in wardrobe cupboards and drawers.

### **Bedroom Two**

12'6 x 5'7 (3.81m x 1.70m)

Window to the front elevation, single radiator.

## **Bathroom**

Modern suite comprising panelled bath with glass shower screen, chrome controls and chrome shower head and hand shower attachment, w.c. low level flush, wall mounted wash hand basin with tiled splashbacks, vanity unit beneath, chrome heated towel rail, electric shaver point, obscure glass window to the front elevation, built-in linen cupboard, heated chrome towel rail.

## **Outside**

### **Front Garden**

Small chip stone area, outside water tap, off road parking.

### **Rear Garden**

Southerly aspect, mainly laid to lawn and all enclosed with fencing to all sides, decked area, plastic storage facility.

### **Two Parking Spaces**

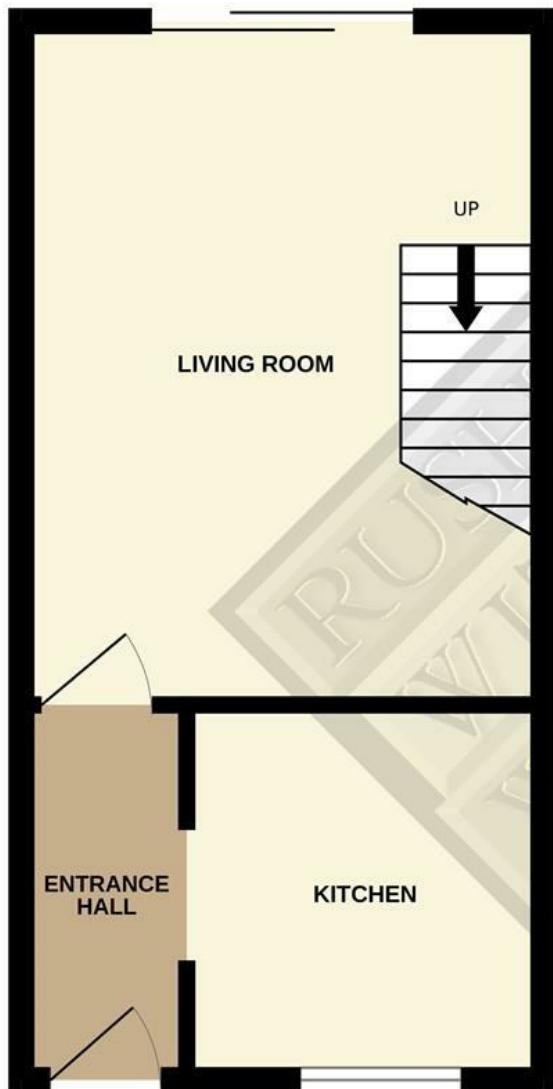
### **Agents Note**

None of the services or appliances mentioned in these sale

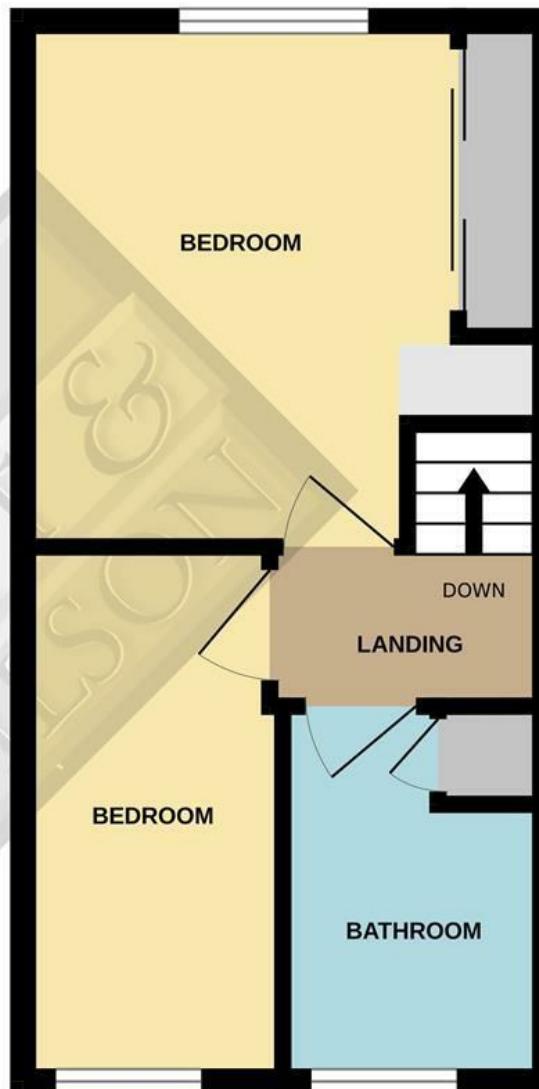
particulars have been tested. It should also be noted that measurements quoted are given for guidance only and are approximate and should not be relied upon for any other purpose.



GROUND FLOOR

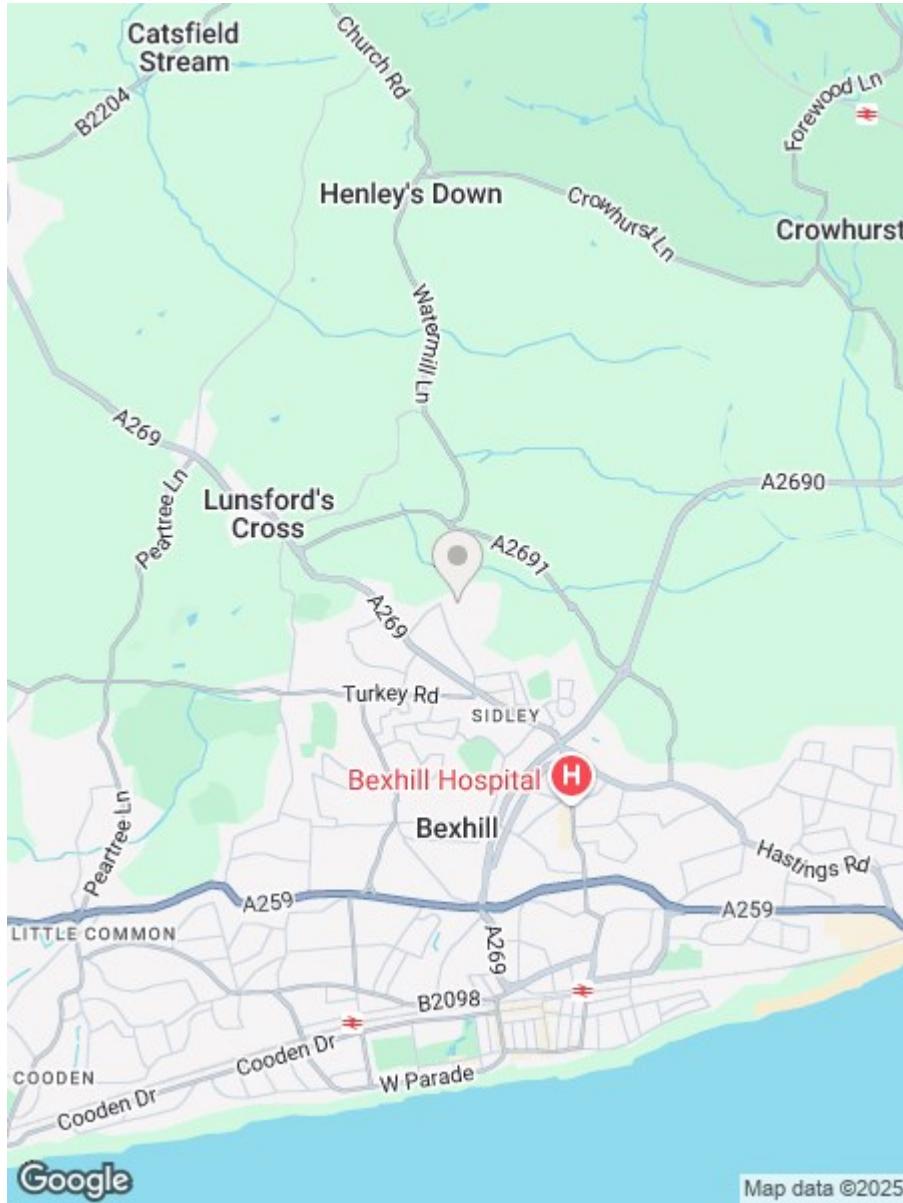


1ST FLOOR



Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.

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Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs (92 plus) A		89
(81-91) B	73	
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
<b>England &amp; Wales</b>		EU Directive 2002/91/EC 

Environmental Impact (CO <sub>2</sub> ) Rating		
	Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions (92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not environmentally friendly - higher CO <sub>2</sub> emissions		
<b>England &amp; Wales</b>		EU Directive 2002/91/EC 